

## ENVIRONMENTAL CORRIDOR DISTRICT

A. Purpose. The Environmental Corridors in Peoria County are areas that provide valuable habitat for wildlife, contain significant aquatic and terrestrial resources, or are erosion-prone sites. In addition, the corridors include areas of remnant woodlands, savannas, prairies and native communities.

Collectively these areas possess high scenic qualities and bring uniqueness to the region. Protection of these sites through land use guidelines is important in order to:

1. Protect and enhance biodiversity in high quality natural areas;
2. Link natural areas to support habitat quality and migration of floral and faunal species;
3. Minimize development on and destruction of sensitive natural resource areas and wildlife habitats;
4. Reduce quantity and improve quality of stormwater runoff from expected development;
5. Minimize impervious area;
6. Reduce potential pressure to encroach on resource buffer areas;
7. Reduce erosion and resultant sediment delivery to the Illinois River as a result of expected development and
8. Reduce cost of public services required by the development.

B. Applicability. The provisions of this section are intended to apply to the Environmental Corridor District. The Environmental Corridor District includes, but is not limited to:

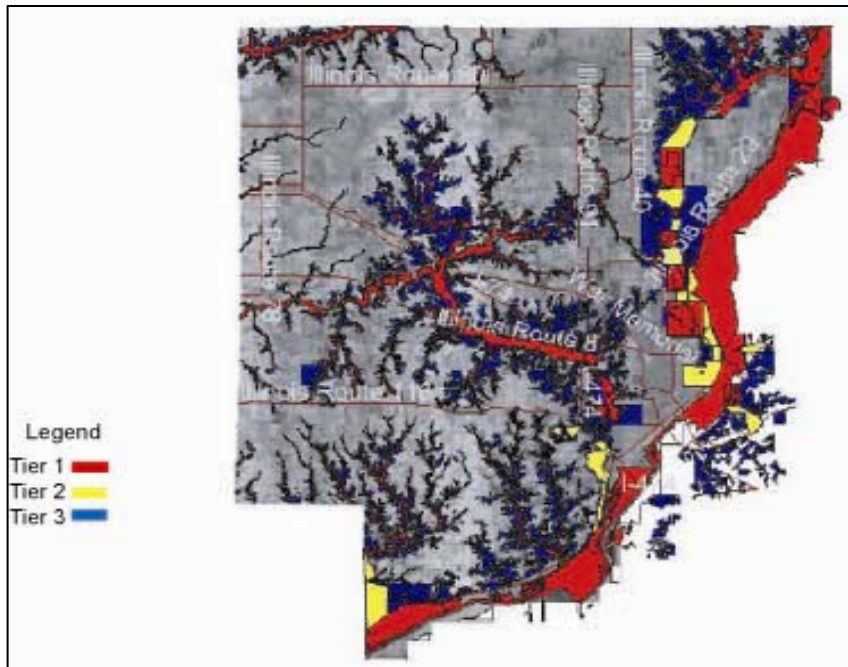
- Illinois River and Peoria Lakes
- Kickapoo Creek System,
- Peoria to Chillicothe Bluffs,
- Spoon River Valley System and
- LaMarsh/Copperas Creek System

Environmental Corridors are classified into 3 Tiers (Figure 1). Each tier is categorized by its natural features and connectivity to high quality areas as follows:

Tier 1: these are open lands that include and buffer Illinois Nature Preserves and include floodplains. Tier 1 sites represent areas with the highest environmental/ecological value in the study area. For these reasons minimal impact development is recommended for sites in this tier.

Tier 2: sites connect the above corridors (Tier 1) thus insuring passage for flora and fauna. Tier 2 sites include environmental corridor areas that are threatened by new intensive development.

Tier 3: covers additional environmentally sensitive land that contains wetlands and/or forests and are not in Tiers 1 or 2.



**Fig 1: Peoria County Environmental Corridors**

C. Permitted Uses. The following uses may be established as permitted uses in the Environmental Corridor District in accordance with the procedures established in Section 5-4 ("Development Permitted as of Right").

1. *Agricultural related Uses:*

- a. Agriculture.

2. *Residential Uses:*

- a. Dwelling, single family detached
  - (1) Tier 1: Up to four (4) new dwellings at a density not to exceed one (1) new dwelling per forty (40) contiguously-owned acres, and provided the requirements for residential planned developments set forth in Section 6-15(C)(1)(a) ("Planned Development") are met, and;
    - (i) Lots are created at the rate of one (1) lot of one (1) to two (2) acres per each forty (40) contiguously owned acres.
    - (ii) Parcels created pursuant to this Subsection may not be divided again, even if subsequently combined with other parcels.
  - (2) Tier 2 and Tier 3: Dwelling, single family detached.
- b. Home Occupations, non-impact or minor, as provided in Section 7-2("Home occupation");
- c. Home occupation, major, as provided in Section 7-2 ("Home Occupations") provided that the lot is greater than five (5) acres and is not located in a platted subdivision; and

3. *Recreational Uses:*

- a. Public Parks, forests preserves, and natural areas, provided that any parking lots are landscaped in accordance with, Section 7-7.

4. *Miscellaneous Uses:*

- a. Accessory structure, dwellings, and uses, as provided in Section 7-4 ( "Accessory Uses and Structure");
- b. Exempt Public Utility Structures;
- c. Government Uses, essential;
- d. Non-exempt Public Utility Structures, provided that:
  - (1) No building is located within twenty five ( 25) feet of a side lot line; and
  - (2) No above ground structure for the treatment or disposal of wastewater and no surface disposal wastewater are located within three hundred (300) feet of any stream or other body of water or any existing or proposed dwelling;
- e. Signs, as provided in Section 7-6 (" Signs");

D. Special Uses. The following uses may be established as special uses in all Tiers of the Environmental Corridor District, in accordance with the procedures and standards set forth in Section 5-5 ("Special Use Permits"):

1. *Residential Uses.*

- a. Home occupations, major, as provided in Section 7-2 ("Home Occupations"), if the lot is less than five (5) acres and/or is located in a platted subdivision;
- b. Mobile homes on individually-owned parcels of land, subject to the provisions of Section 7-10 ("Mobile Homes") of these regulations;
- c. Mobile home occupied by retired or disabled persons, subject o the provisions of Section 7-10 ("Mobile Homes") of these regulations; and
- d. Mobile homes, when all towing apparatus, wheels, tongue and hitch are permanently removed and the structure is attached to a permanent foundation and assessed as real property.

2. *Commercial Uses.*

- a. Agriculturally-related businesses;
- b. Animal hospitals, animal clinics, and commercial kennels, provided:
  - (1) Lot size shall be two (2) or more acres;
  - (2) No treatment rooms or pens for large animals and no kennel shall be located closer than two hundred (200) feet from any off-site residential building or one hundred (100) feet from any property line, unless maintained within a completely enclosed building; and
  - (3) No objectionable odors are noticeable at or beyond the lot line.
- c. Greenhouses, commercial.

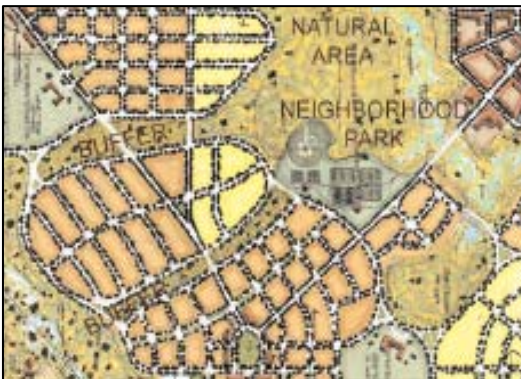
- d. Wind energy conservation systems, provided that the conditions in section 24-4-2, Wind Energy Conservation Systems, of these regulations are met.

3. *Miscellaneous Uses.*

- a. Places of worship;
- b. Schools, other than boarding schools, provided that no building is located within twenty-five (25) feet of a side lot line; and
- c. Historic Sites.

E. Minimum Lot Size. Except as provided by Section C.2 or by special use permit, all uses and structures in the Environmental Corridor District shall have the minimum lot size set forth below. Any lot of record at the time of adoption of these regulations, which does not meet the requirements of lot size as required by these regulations, may still be utilized for a use permitted under the zoning district in which the lot is located, provided that the applicable setbacks and other provisions of these regulations are met. Also, Agriculture, telecommunication carrier facilities and exempt public utility structure: N/A.

- 1. *Tier 1.* Minimum lot size of one (1) dwelling unit per forty (40) acres.  
Also, lots can be created at the rate of one (1) lot of one (1) to two (2) acres per each forty (40) contiguously owned acres, upto 4 lots;
- 2. *Tier 2.* Minimum lot size of one (1) dwelling unit per ten (10) acres
- 3. *Tier 3.* Minimum lot size of one (1) dwelling unit per five (5) acres OR one (1) dwelling unit per (1) acre, if served by community waste water treatment plant.



*Fig: 2 Cluster developments allows for contiguous open space creating greater benefit for habitat.*



*Fig: 3 Contemporary development consumes natural resources and depletes habitat.*

F. Minimum lot width at building setback line

- 1. Agriculture, telecommunications carrier facilities and exempt public utility structures: n/a
- 2. Other uses: 200 feet

## G. Minimum Setbacks.

The following minimum setback standards shall apply in the Environmental Corridor District. The distributing equipment of public utilities which are exempt pursuant to 55 ILCS 5/5-12001 are exempt from these regulations. For square corner lots, the "road" setback shall be applied to both the front yard where the main door is located and the side yard facing the right-of-way; the other yards shall be considered to be the "side" setbacks.

### 1. Road.

#### a. State:

- (1) Residential: Seventy-five (75) feet from the right-of-way or one hundred thirty-five (135) feet from the center of the right-of-way, whichever distance is greater.
- (2) Nonresidential: Seventy-five (75) feet from the right-of-way or one hundred sixty (160) feet from the center of the right-of-way, whichever distance is greater.
- (3) Telecommunications carrier facilities: n/a
- (4) WECS towers: 1.1 times the WECS tower height.

#### b. County Primary:

- (1) Residential: Seventy-five (75) feet from the right-of-way or one hundred fifteen (115) feet from the center of the right-of-way, whichever distance is greater.
- (2) Nonresidential: One hundred (100) feet from the right-of-way or one hundred forty (140) feet from the center of the right-of-way, whichever distance is greater.
- (3) Telecommunications carrier facilities: n/a
- (4) WECS towers: 1.1 times the WECS tower height.

#### c. County Nonprimary:

- (1) Residential: Forty (40) feet from the right-of-way or one hundred (100) feet from the center of the right-of-way, whichever distance is greater.
- (2) Nonresidential: Sixty-five (65) feet from the right-of-way or one hundred twenty-five (125) feet from the center of the right-of-way, whichever distance is greater.
- (3) Telecommunications carrier facilities: n/a
- (4) WECS towers: 1.1 times the WECS tower height.

#### d. Collector Street:

- (1) Residential: Forty (40) feet from the right-of-way or seventy (70) feet from the center of the right-of-way, whichever distance is greater.
- (2) Nonresidential: Sixty-five (65) feet from the right-of-way or ninety-five (95) feet from the center of the right-of-way, whichever distance is greater.

#### e. Local Street:

- (1) Residential: 25 feet from the right-of-way
- (2) Non-residential: 50 feet from the right-of-way
- (3) Telecommunications carrier facilities: n/a

*2. Side.*

- a. Telecommunications carrier facilities: Not less than ten (10) feet from the lot line.
- b. WECS towers: 1.1 times the WECS tower height from adjacent property lines.
  - (1) Property lines that are shared with other properties included in the same WECS development may forego this requirement, provided written acceptance of this waiver is obtained from all effected property owners prior to or at the public hearing before the zoning board of appeals.
- c. Other uses:
  - (1) Principal structures: Not less than thirty (30) feet from property line.
  - (2) Accessory structure:
    - (a) If accessory structure is less than 2,000 square feet, not less than 15 feet from the property line.
    - (b) If accessory structure is 2,000 square feet or larger, not less than 30 feet from the property line.

*3. Rear.*

- a. Telecommunications carrier facilities: Not less than ten (10) feet from the lot line.
- b. WECS towers: 1.1 times the WECS tower height from adjacent property lines.
  - (1) Property lines that are shared with other properties included in the same WECS development may forego this requirement, provided written acceptance of this waiver is obtained from all effected property owners prior to or at the public hearing before the zoning board of appeals.
- c. Other uses:
  - (1) Principal structure: Not less than thirty (30) feet from the property line.
  - (2) Accessory structure:
    - (a) If accessory structure is less than two thousand (2,000) square feet, not less than fifteen (15) feet from the property line.
    - (b) If accessory structure is two thousand (2,000) square feet or larger, not less than thirty (30) feet from the property line.

4. Front.

- a. Telecommunications carrier facilities: Not less than ten (10) feet from the lot line.
- b. WECS towers: 1.1 times the WECS tower height from adjacent property lines.
- (1) Property lines that are shared with other properties included in the same WECS development may forego this requirement, provided written acceptance of this waiver is obtained from all effected property owners prior to or at the public hearing before the zoning board of appeals.

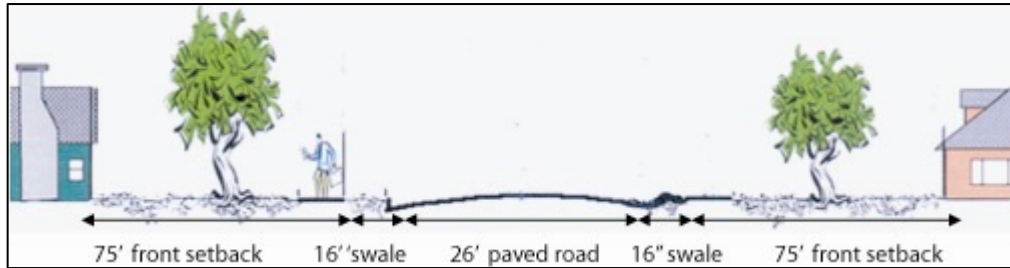


Fig:4 Typical Cross Section of Roadway

5. Stream and wetland setbacks.

- a. Setback: the greater of 50 ft from the top of the streambank/wetland edge or the entire 100-year floodway
- b. Restricted activities within the stream/wetland setback:
  - (1) Placement of septic systems, permanent structures, or other impervious surfaces;
  - (2) Clearing of existing native vegetation;
  - (3) Soil disturbance by grading, stripping, or other practices;
  - (4) Filling or dumping, or private drainage of sump pumps;
  - (5) Drainage by ditching, underdrains, or other systems;
  - (6) Use, storage, or application of pesticides, except for the spot spraying of noxious weeds or non-native species;
  - (7) Storage or operation of motorized vehicles, except for maintenance or emergency use, approved by the Director of County of Peoria Department of Planning and Zoning.
- c. Permitted activities within the stream/wetland setback:
  - (1) Flood control structures;
  - (2) Utility rights-of-way and facilities constructed towards the outside edge (greatest distance from the channel) to the extent practical.;
  - (3) Biking and hiking paths;

- (4) Road crossings. Where permitted shall be generally perpendicular to the channel. The minimum number of road crossings should be used within each subdivision. An analysis needs to be conducted to ensure that no economically feasible alternative is available;
- (5) Stormwater management facilities as approved by the County of Peoria Department of Planning and Zoning;
- (6) Recreational and park uses as approved by Director of the County of Peoria Department of Planning and Zoning;
- (7) Selective tree and vegetation clearing as approved by the Director of the County of Peoria Department of Planning and Zoning;

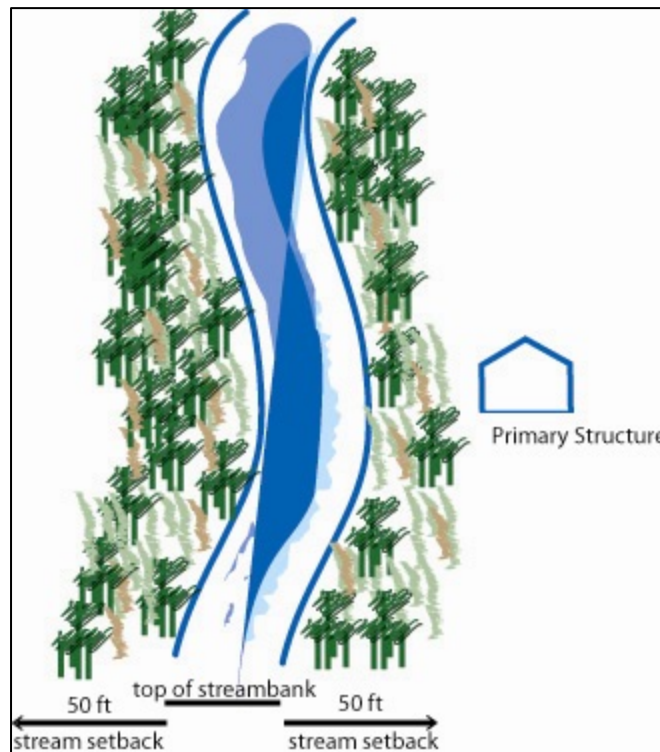


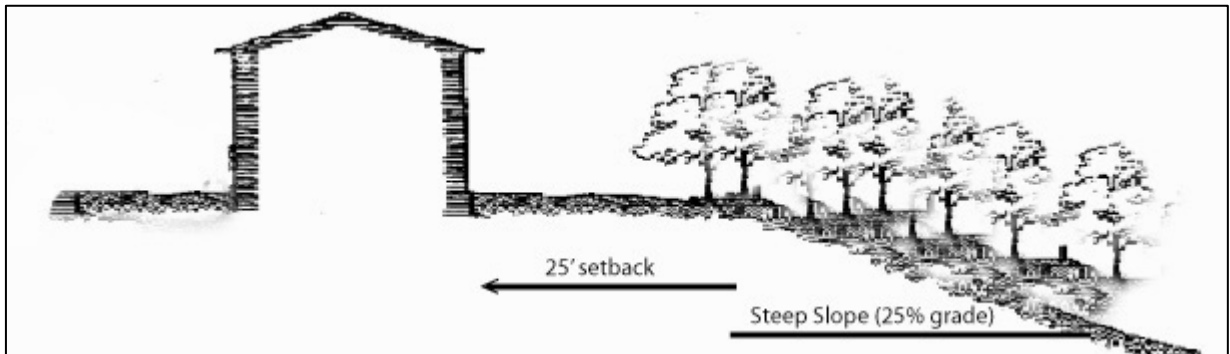
Fig:5 Stream Setback

#### 6. Steep Slopes

- a. Setback: twenty-five (25) feet from the top edge
- b. Restricted activities within the setback:
  - (1) Placement of septic systems, permanent structures, or other impervious surfaces
  - (2) Clearing of existing native vegetation with the exception for habitat restoration activities;
  - (3) Soil disturbance by grading, stripping, or other practices;
  - (4) Disposing of waste materials including yard waste;
  - (5) Disposing of excavated materials

c. Permitted activities within the setback:

- (1) Retaining walls and other structures which are necessary for slope stabilization as approved by the Director of the County of Peoria Department of Planning and Zoning;
- (2) Existing structures may be remodeled or rebuilt provided the structure does not extend beyond the previous footprint;
- (3) Selective vegetation thinning and planting for the purposes of habitat enhancement in accordance with the Peoria Area Native and Prohibited Plant Lists and as approved by the Director of the County of Peoria Department of Planning and Zoning;



*Fig:6 Typical Cross Section of Slope*

7. *Illinois Natural Area Inventory Sites.*

a. Setback: 100 feet from the boundary of Illinois Natural Area Inventory Sites..

b. Restricted activities within the setback:

- (1) Clearing of existing native vegetation with the exception of habitat restoration activities;
- (2) Soil disturbance by grading, stripping, or other practices;
- (3) Placement of any permanent structures;
- (4) Use of ATVs or other motorized vehicles;
- (5) Disposing of waste materials including yard waste;
- (6) Disposing of excavated materials

c. Permitted activities within the setback:

- (1) Passive recreation such as hiking
- (2) Selective vegetation thinning and planting for the purposes of habitat enhancement in accordance with the Peoria Area Native and Prohibited Plant Lists and as approved by the Director of the County of Peoria Department of Planning and Zoning.

H. Maximum Lot Coverage.

1. Agriculture, telecommunications carrier facilities and exempt public utility structures: n/a

2. Other uses: No more than ten (10) percent of the area of the lot may be occupied by structures.

I. Height.

1. Agriculture, telecommunications carrier facilities and exempt public utility structures: n/a
2. Other uses: Three (3) stories or thirty-six (36) feet to the mean height of the roof, whichever is higher.

J. Prohibitions within the environmental corridor.

1. The use, packaging, transportation, or storage of hazardous substances, except as follows:
  - a. Transportation of hazardous substances through environmental corridors by rail or on designated truck routes is allowed; and
  - b. Use of consumer quantities of hazardous substances within environmental corridor is allowed subject to the regulations of this Chapter. Consumer quantities of hazardous substances are packaged and distributed in a form intended or suitable for sale through retail sales outlets for consumption by individuals for purposes of personal care and household use.
2. The planting or propagation of any plant identified as a prohibited plant on the *Peoria Area Nuisance and Prohibited Plant List*.
3. Dumping of yard debris or trash
4. Native trees may be removed within 10 feet of any proposed structures, within 5 feet of driveways, or to create up to 500 square feet of permanent disturbance area for uses such as gardens and play area. In no case will the combined total diameter of all the 6-inch diameter breast height or greater trees cut exceed 225 inches. Trees listed on the *Peoria Area Nuisance and Prohibited Plant List* are exempt from this standard.

K. Development standards

1. *When regulations K.3 – K.9 of this ordinance apply*
  - a. Development including:
    - (1) Any construction that will include the addition of an impervious surface area (i.e., streets, roof, patio or parking area or any combination thereof) greater than or equal to 750 square feet
    - (2) Any land disturbing activity (i.e., clearing, grading, stripping, excavation, fill, or any combination thereof) that will affect an area greater than or equal to 5,000 square feet
  - b. Land divisions and property adjustments
  - c. Removing cutting, mowing clearing, poisoning native vegetation
  - d. Planting prohibited plants

- e. Resource enhancement

## 2. Items exempt

- a. Temporary emergency procedures necessary for protection of life, health, safety, or property
- b. Existing developments, operations, improvements including the following:
  - (1) Continued maintenance of existing gardens, pastures, lawns, and other planted areas, including the installation of new irrigation and drainage facilities, new erosion control features, and the installation of plants except those listed on the *Peoria Area Nuisance and Prohibited Plant List*. Change of crop type or farming technique on land currently in agricultural use. Pruning trees and shrubs within 10 feet of structures;
  - (2) Operation, maintenance, and repair of the following:
    - (i) Irrigation systems;
    - (ii) Stormwater management systems
    - (iii) Pumping stations; and
    - (iv) Erosion control and soil stabilization features
- c. Removing a tree or plant listed on the *Peoria Area Nuisance and Prohibited Plant List* lists when there is no resulting soil exposure or soil disturbance
- d. Removing trees or portions of trees when they pose an immediate danger
- e. Land divisions or property line adjustments where all properties are developed, no additional building sites are created and no additional developed is proposed
- f. The following new development and improvements:
  - (3) Selective vegetation thinning and planting for the purposes of habitat enhancement in accordance with the Peoria Area Native and Prohibited Plant Lists and as approved by the Director of County of Peoria Department of Planning and Zoning;
  - (1) Public street and sidewalk improvements within an existing public right-of-way used by truck or automobile traffic;
  - (2) Utilities installed above or below developed portions of public rights-of-way
- g. Installation of temporary fencing to protect resource enhancement project planting areas, or to close off or control the use of illegal trails. The fence must be removed within 5 years;
- h. Installation of signage as part of public recreational trail and resource enhancement projects
- i. Trails meeting all of the following
  - (1) Trails widths must not exceed 30 inches, stair width must not exceed 50 inches, and trail grade must not exceed 20 percent except for the portion of the trail containing stairs.
  - (2) Trails must not be paved

3. *Grading and Drainage Permit.*

Please refer to Article III, Erosion, Sediment and Stormwater Control Section 7.5-61—7.5-72 of this ordinance for erosion control permit.

4. *Maximum Disturbance Area*

- a. Any proposed disturbance area greater than the parameters set in Table 1 will require resource enhancement.

<b>Table 1 Maximum Disturbance Area</b>			
	<b>Tier 1</b>	<b>Tier 2</b>	<b>Tier 3</b>
Maximum Disturbance Area	2,500 sq ft	3,500 sq ft	5,000 sq ft

<b>Table 2- Minimum Site Enhancement Options</b>	
Option	Action
Option 1 Restoration Planting	Remove plants listed on the <i>Peoria Area Nuisance and Prohibited Plant List</i> . Plant the area with native plants at the following minimum planting density: 10 plants per 50 square feet at a ratio of one tree, two shrubs, and 7 groundcover plants. Trees must be at least one inch in diameter, shrubs must be at least 2 gallons, and groundcover plants a minimum pot size of 4 inches. The remaining area may be seeded with native grass seed.
Option 2 Impervious Surface Reduction	Remove impervious surface to improve stormwater management, and replant the area with native plants at the following minimum planting density: 10 plants per 50 square feet at a ratio of one tree, two shrubs, and 7 ground plants. Trees must be at least one inch in diameter, shrubs must be at least 2 gallons, and groundcover plants must be a minimum pot size of 4 inches. The remaining area may be seeded with native grass seed.
Option 3 Parking Lot Retrofit	Replace existing interior parking lot landscaping with a vegetated infiltration basin using native plants. The minimum planting ratio for this option is one tree and two shrubs for every 50 square feet of planting area, and ground cover plants to cover the remaining area, planted on 12-inch centers. Trees must be at least one inch in diameter, shrubs must be at least 2 gallons, and groundcover plants a minimum pot size of 4 inches. Enhancements must be approved by the County of Peoria Department of Planning and Zoning

- b. Required resource enhancement applicants must show that an area equivalent in size to at least 50 percent of the area proposed for development will be enhanced following one or more of the options described in Table 2.
- c. The following standards apply to resource enhancement projects in the environmental corridor:

- (1) There is no excavation or fill of, or construction activity within any wetland or water body;
- (2) There is no net fill, or increase in the amount of soil on the site; and
- (3) No native vegetation listed on the *Peoria Area Native Plant List* is removed.

5. *Development along a steep slope: Plans – Review Required.*

- a. Soil Type and Subsurface Material. Every application for a building permit within 100 feet of a Steep Slope shall be accompanied by a Soil Types and Subsurface Materials Investigation. This investigation shall include the following:
  - (1) A thorough subsurface investigation using techniques such as borings, test pits, in situ tests, laboratory tests or other procedures performed to a depth sufficient to determine foundation conditions for the proposed construction; and
  - (2) A description of the soil and subsurface materials found on the subject site to a depth extending below any proposed excavation as well as the engineering properties of the subsurface soil materials.
- b. The soil type and subsurface material on the proposed development site, as detailed in the Soil Type and Subsurface Material Investigation, shall determine the necessity of further development plans and reports. **Table 3** illustrates the maximum distance from the Steep Slope requiring the site-specific **Means and Methods of Construction, Geotechnical Characteristics, Earth Moving, Hydrological Control and Vegetative Plans** discussed in the following subsections C - H. When proposed development takes place within the parameters of **Table 3**, these plans shall be required for submission to and approval by the Director prior to issuance of any permit for construction, demolition, or earth moving.

<b>Table 3. Thresholds for further studies along Steep Slopes</b>	
<b>Soil type &amp; Subsurface Material</b>	<b>Maximum distance from the Steep Slope requiring the following plans and reports</b>
Uncontrolled fill	100 ft.
Native (virgin) soils	50 ft.
Encountered structural fills	20 ft.

- c. Means and Methods of Construction. Because work to be performed in the Environmental Corridor District may have adverse impacts on steep slopes, all permit applications shall contain a written description of the proposed means and methods of accomplishing such work, which means and methods shall be carefully selected to minimize slope damage. Upon approval of the building permit by the Director, such written description shall be the enforceable means and method of construction.
- d. Geotechnical Characteristics.
  - (1) Foundation. All proposed structures shall have foundations designed in a manner consistent with sound engineering and geological principles.
  - (2) External Factors.
    - (i) In the design of the stability of all proposed structures, consideration shall be given to the effect of undercutting at the base of Steep Slopes or bluffs caused by wave action, storm water flow, and erosion and/or channel changes.

- (ii) In addition, no part of any structure above the foundation thereof may extend more than one (1) foot into the Steep Slope Zone for each three (3) feet of height of such structure. Any such extension shall be unsupported by any structure or foundation located within the Steep Slope Zone.
- e. Additional Report and Subsoil Investigation. The report shall be prepared by a licensed professional civil engineer or structural engineer, trained and experienced in the practice of geotechnical engineering, and shall include the following:
  - (1) Stability. A description of the stability of surface patterns of water flow as well as indication of the presence or absence of permeable Zones in underlying soils and susceptibility of slope instability due to water table changes.
  - (2) External Influences. A description of any existing or anticipated problems from undercutting at the base of Steep Slopes caused by wave action, ravine flows, or channel changes.
  - (3) Absence of Special Hazards. An opinion that the soil types, soil stability, subsurface hydrology, and external influences affecting the site will not cause any significant hazards for the proposed use; or if they may cause such hazards, an opinion that such hazards can be overcome, together with a reasonably detailed description of how it is proposed to overcome them.
- f. Earth Moving Plan. Each application for a building permit pursuant to this Ordinance shall be accompanied by an earth moving plan, which plan shall include the following:
  - (1) A topographic survey, showing property contours at one foot intervals for tableland and five (5) foot intervals for Steep Slopes, including special notes and details of the existing terrain;
  - (2) Proposed earth moving details, including the dimensions, elevations, and contours of any proposed earth moving and the placement of excavated materials;
  - (3) A description of the methods to be employed in disposing of soil and other material removed, including the location of the disposal site;
  - (4) A time-table of when each stage of the project will be completed, including the estimated starting and completion dates; and
  - (5) A provision requiring the placement of a temporary construction fence on the tableland at the top edge of Steep Slope Zone until construction is completed.
- g. Hydrological Control Plan. Construction documents shall include a plan for intercepting and containing drainage at the site and from the structure.
- h. Vegetation Plan. A vegetation plan, subject to the provisions of Section J.4 of the Environmental Corridor Zoning Ordinance, prepared or approved in writing by a landscape professional trained and experienced in both the characteristics of plant material and proper procedures for installation, shall be submitted with each application for a building permit, which plan shall include the following:
  - (1) An inventory describing the existing floral and Tree cover of the construction site, including identification of Undesirable Species and Protected Trees showing those areas where the vegetation will be removed as part of the proposed development;

- (2) A description of proposed revegetation of disturbed areas, specifying the materials to be used;
- (3) A written description detailing methods of slope stabilization and revegetation, together with the rationale for selecting the plant materials and planting techniques proposed to be used; and
- (4) A maintenance guideline, instructing Steep Slope owners of necessary actions to be taken following construction and/or earth moving in order to maintain plantings in good and serviceable health.

7. *Standards for development along a steep slope.* During construction and/or earth moving within 100 feet of a Steep Slope, the permittee shall adhere to the following standards:

a. Hydrological Controls.

- (1) Natural Channels. Natural drainage ways shall be preserved to the maximum extent possible.
- (2) Controlled Run-Off. Concentrated run-off from impervious surfaces shall be conveyed to a municipal storm sewer system if available, or to the bottom of ravine or bluff slopes through grassed swales, infiltration trenches or other best management practices designed to infiltrate stormwater runoff and prevent erosion as deemed appropriate by the Subsoil Investigation required by this Ordinance. If infiltration is not deemed appropriate, concentrated runoff from impervious surfaces shall be collected and transported in a pipe or other approved manner. Stormwater conveyance pipes shall generally be located above ground, but may be located below ground with the approval of the Director.
- (3) Interceptor Ditches. When sound professional engineering practice dictates and when required by the Director, interceptor ditches shall be established above Steep Slopes in order that soil shall not become saturated and the intercepted water shall be conveyed in a pipe or other approved manner to a municipal storm sewer system, if available, or to the bottom of ravine or bluff slopes in a manner designed to prevent erosion.
- (4) Discharge Point Stabilization in Steep Slopes. Natural drainage ways shall be stabilized by landscape integration, rip-rap, rolled erosion control products or other means consistent with sound professional engineering practice, to a distance below drainage and culvert discharge points sufficient to convey the discharge without channel erosion and in such a manner as to dissipate the energy of the discharge.
- (5) Early Completion. The overall drainage system shall be completed and made operational at the earliest possible time during construction.
- (6) Impact on Adjacent Property. The natural or usual flow of surface or subsurface water shall not be altered or obstructed in any way by grade changes that may adversely affect the property of another by either contributing to pooling or collection of waters or to the concentration or intensification of surface water discharge. However, construction which might otherwise be prohibited hereinabove may be allowed if such waters are properly drained by a pipe or other approved manner to a municipal storm sewer system, if available, or to the bottom of ravine or bluff slopes.

b. Vegetation and Revegetation.

- (1) Natural Vegetation. Every effort shall be made to maintain natural vegetation on the Steep Slopes.
- (2) Smallest Area. At all times, the smallest practical area of raw soil shall be exposed for as short a duration of time as practical. When sound professional engineering practice dictates and when required by the Director, temporary vegetation, or other acceptable cover shall be used to protect areas of raw soil exposed during development and to prevent airborne or waterborne transportation of soil.
- (3) Revegetation. A mix planting of perennial and woody species from the *Peoria Area Native Plant List* shall be used to landscape Steep Slope areas disturbed by construction, demolition, and/or earth moving.

c. Tree protection.

- (1) General. It shall be unlawful to remove any Protected Tree from the Steep Slope Zone within the Ravine Overlay District without the approval of the Director.
- (2) Protection measures. The Critical Root Zone (CRZ) of Protected Trees is one foot outside the general leaf canopy and shall be protected from damage during all construction operations. No construction activities, including the placement of topsoil, shall be permitted within the CRZ. In addition, all roadways, parking areas, and storage areas shall be located outside any CRZ.
- (3) Duration of protection. All required protection measures including construction fencing or approved equivalent shall be installed prior to the commencement of any site development activity and shall remain in place and in working, functional order until all site development activities have ceased or the surrounding area has been stabilized.

d. Earth Moving.

- (1) Minimum Alterations. Earth moving shall be limited to the minimum required for building foundations, driveways, drainage control structures, and immediate yard areas. With the exception of conservation or restoration efforts, substantial earth moving shall not be permitted and is prohibited.
- (2) Erosion Control. All earth moving shall be accomplished in a manner which will create the lowest possible potential for airborne or waterborne transportation of soil.
- (3) Soil Fill on Steep Sloped Land. All fill on Steep Slopes is prohibited, other than back-fill which is determined by the Director to be necessary for slope stabilization.
- (4) Soil Fill on Tableland. Foundations for earthfill shall be stripped to remove vegetation and other unsuitable materials. In conformance with generally accepted engineering standards, all fill on tableland shall be stabilized to at least ninety-five (95) percent of maximum density as determined in ASTM procedure D-1557 or equivalent.
- (5) Excavated Materials. Surplus or unsuitable excavated materials shall not be placed within 20 feet of the Steep Slope Zone.
- (6) Prompt Completion. All earth moving shall be accomplished in the shortest practical period of time. All excavated material shall be removed from the Steep Slope Zone and no temporary or permanent material storage shall be permitted within the Zone. No existing

natural vegetation shall be destroyed, removed or disturbed prior to the initiation of construction, demolition, or earth moving activities.

8. *Reimbursement for Engineering Fees for Development Along Steep Slopes* - Should any representative of the County deem it necessary to obtain the services of a professional engineer to review or verify the calculations or conclusions submitted to the County in connection with any application for a permit to undertake construction activities within a steep slope zone, to conduct inspections while an applicant engages in construction activities after issuance of a permit, or to undertake any other reasonably necessary investigations or activities, the applicant for such permit shall reimburse the County for the reasonable cost of such services. By submitting an application to undertake construction activities within 100 feet of a steep slope, the applicant shall be taken to have agreed to pay any such fees. The Director shall refuse to issue a permit for any construction activities until all actual or estimated engineering fees due under the provisions of this section have been paid in full. The Director shall refuse to issue a certificate of occupancy for any improvements until all engineering fees due under the provisions of this section have been paid in full. The Director may as a condition to commencing the process require advance payment of the estimated cost of such engineering fees.
  
9. *Standards for utility lines within the Environmental Corridor.* The following standards apply to private connections to existing utility lines.
  - a. The disturbance area for private connections to existing utility lines is no greater than 10 feet wide;
  - b. The utility construction does not occur within a stream channel, identified wetland, or water body;
  - c. Native trees more than 10 inches in diameter may not be removed.
  
10. *Standards for public recreational facilities.* The following standards apply to public recreational trails and public viewing areas developed in conjunction with the recreational trail.
  - a. The trail is located on public property or within a public trail easement;
  - b. The trail is no wider than eight (8) feet;
  - c. if the trail crosses a waterbody it is constructed above the top of bank;
  - d. Native trees more than 10 inches in diameter may not be removed; and
  - e. if a public viewing area is proposed, the following must be met:
    - (1) The viewing area may not exceed up to 500 square feet of permanent disturbance area;
    - (2) The viewing area is at least 30 feet from the top of bank;
    - (3) The viewing area is not in the floodway.

## L. Off Street Parking

### *Parking lots*

- a. One or more of the following landscape and infiltration treatments are required within parking lots:
  - (1) Infiltration bio-swales
  - (2) Vegetated swales
  - (3) Vegetated filter strips
  - (4) Infiltration basin/trenches
  - (5) Sand filters
  - (6) Similar measures designed to filter, retain, and infiltrate stormwater runoff



**Fig. 7** Porous pavement in a community college parking lot.



**Fig. 8** Engineered grassed swales being constructed in the same parking lot. Notice the curb cuts that allow stormwater to enter the drainage system.

### *Driveways*

- a. A maximum of 400 square feet of impervious surface is allowed. Remaining drive must be permeable/porous pavers or contain a vegetated driveway strip.